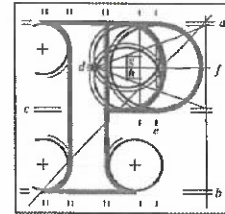


**Our Case Number:** ABP-314724-22

**Planning Authority Reference Number:**

**Your Reference:** Bovale ULC and Balheary Properties ULC



**An  
Bord  
Pleanála**

**ILTP**

St. Albert's House  
Dunboyne  
Co. Meath

**Date:** 23 January 2023

**Re:** Railway (Metrolink - Estuary to Charlemont via Dublin Airport) Order [2022]  
Metrolink. Estuary through Swords, Dublin Airport, Ballymun, Glasnevin and City Centre to  
Charlemont, Co. Dublin

Dear Sir / Madam,

An Bord Pleanála has received your recent submission and oral hearing request in relation to the above-mentioned proposed Railway Order and will take it into consideration in its determination of the matter.

The Board will revert to you in due course with regard to the matter.

The Board has absolute discretion to hold an oral hearing in respect of any application before it, in accordance with section 218 of the Planning and Development Act 2000, as amended. Accordingly, the Board will inform you on this matter in due course.

Please be advised that copies of all submissions/observations received in relation to the application will be made available for public inspection at the offices of the relevant County Council(s) and at the offices of An Bord Pleanála when they have been processed by the Board.

More detailed information in relation to strategic infrastructure development can be viewed on the Board's website: [www.pleanala.ie](http://www.pleanala.ie).

If you have any queries in the meantime, please contact the undersigned. Please quote the above mentioned An Bord Pleanála reference number in any correspondence or telephone contact with the Board.

<b>Tel</b>	<b>Tel</b>	(01) 858 8100
<b>Glaó Áitiúil</b>	<b>LoCall</b>	1890 275 175
<b>Facs</b>	<b>Fax</b>	(01) 872 2684
<b>Láithreán Gréasáin</b>	<b>Website</b>	<a href="http://www.pleanala.ie">www.pleanala.ie</a>
<b>Ríomhphost</b>	<b>Email</b>	<a href="mailto:bord@pleanala.ie">bord@pleanala.ie</a>

64 Sráid Maoilbhríde Baile Átha Cliath 1 D01 V902	64 Marlborough Street Dublin 1 D01 V902
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Yours faithfully,

*PN 006*

Niamh Thornton  
Executive Officer  
Direct Line: 01-8737247

**Tel**  
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**Facs**  
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D01 V902

64 Marlborough Street  
Dublin 1  
D01 V902



An Bord Pleanála  
64 Marlborough Street  
Dublin 1  
D01 V902

16<sup>th</sup> January 2023

Our Reference: BovNAMA – Lissenhall Lands  
Your Reference: 314724

**Submission on Behalf of Bovale ULC and Balheary Properties ULC on Proposed Scheme and CPO (Compulsory Purchase Order) of Lands**

Dear Sirs,

**Re. Railway (Metrolink–Estuary to Charlemont via Dublin Airport) Order 2022**

We have been appointed by Bovale Developments ULC and Balheary Properties Unlimited. to make a submission on its behalf to the above proposed scheme. The submission is in respect to the lands adjacent the proposed Metrolink terminus and Park & Ride facility and related infrastructure which are also the subject of CPO (Compulsory Purchase Orders) . The subject lands, which we refer to as the Lissenhall lands are registered in the name of Balheary Properties Unlimited Company, 27 Dublin Road, Swords, Co. Dublin.

The scheme as currently submitted to An Bord Pleanála (ABP) would, if approved, mean that with the temporary and permanent land-takes proposed, little if any development could, in reality, take place on the adjacent retained lands until after the Metro is complete.

The development of the lands immediately adjacent to major high capacity public transport should ideally take place in advance and in tandem with the proposed scheme as this would maximise the patronage of the Metrolink and hence its economic viability. Bringing forward lands for development in tandem with the Metrolink also accords with good planning practice

The lands are currently zoned as ***“ME - Metro Economic Corridor - Facilitate opportunities for high density mixed use employment generating activity and commercial development, and support the provision of an appropriate quantum of residential development within the Metro Economic Corridor”*** in the current Fingal County Development Plan (CDP) 2017 to 2023.

The recently published Material Alterations to the Draft CDP (2023-2029) proposes the Lissenhall lands as being within the Swords LAP boundary, see Map Sheet 8 attached. The new CDP is proposed for adoption by the end of February 2023. The Swords LAP will be completed within the lifetime of the CDP and this plan should provide an appropriate context and framework for the orderly and sustainable development of the area.

We would like to bring to the attention of ABP the proposed timeline for the completion of the proposed Metrolink, which we estimate would be completed by the early 2030s at the earliest and more realistically by 2035. Therefore, it could be the mid to late 2030s before any significant development of the lands immediately adjacent to the proposed Lissenhall Metro stop without modification to the proposed scheme.

Clearly this is something that is of significant concern to our client.

Figure A attached shows proposed modifications to the Metrolink scheme, which if approved by ABP would allow for the integrated development of the retained lands with the proposed Metrolink scheme. This in turn would allow for the orderly and timely delivery of appropriately development on the adjacent lands. The main changes proposed include:

- Allowing for the delivery of access via the Swords Western Distributor Road off the R132 to the retained lands that would facilitate appropriate development on the retained lands.
- Improved linkages (or provision for same) between the proposed Lissenhall stop and the retained lands.
- There are two areas of land included in the CPO which do not appear to be necessary or required for the proposed scheme. Our client wishes to retain control over these lands.

Our client also has concerns that the proposed large Multi Storey Car Park (MSCP) would not provide an appropriate frontage development to the Lissenhall lands along the section of the Swords Western Distributor Road included in the scheme.

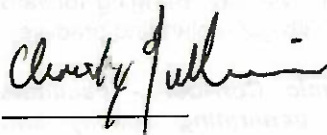
Our client fully supports the proposed Metrolink scheme, in principle.

We would also like to inform ABP that our client is in ongoing and detailed discussions with TII in respect to the proposed modifications as outlined in this submission and we are working to come to an agreement with the TII over the coming weeks.

We would, therefore, hope to be able to appraise ABP further on these ongoing discussions in due course. Our client may also wish to make further representations at the Oral Hearing into the proposed scheme.

We would respectfully request ABP to consider the proposed modifications and to include same as part of any scheme approval.

Yours sincerely,

A handwritten signature in black ink, appearing to read "Christy O'Sullivan".

Christy O'Sullivan  
Managing Director

C.c. Bovale ULC.



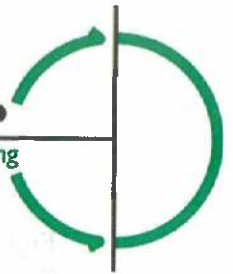


Figure A – Proposed Scheme Modifications

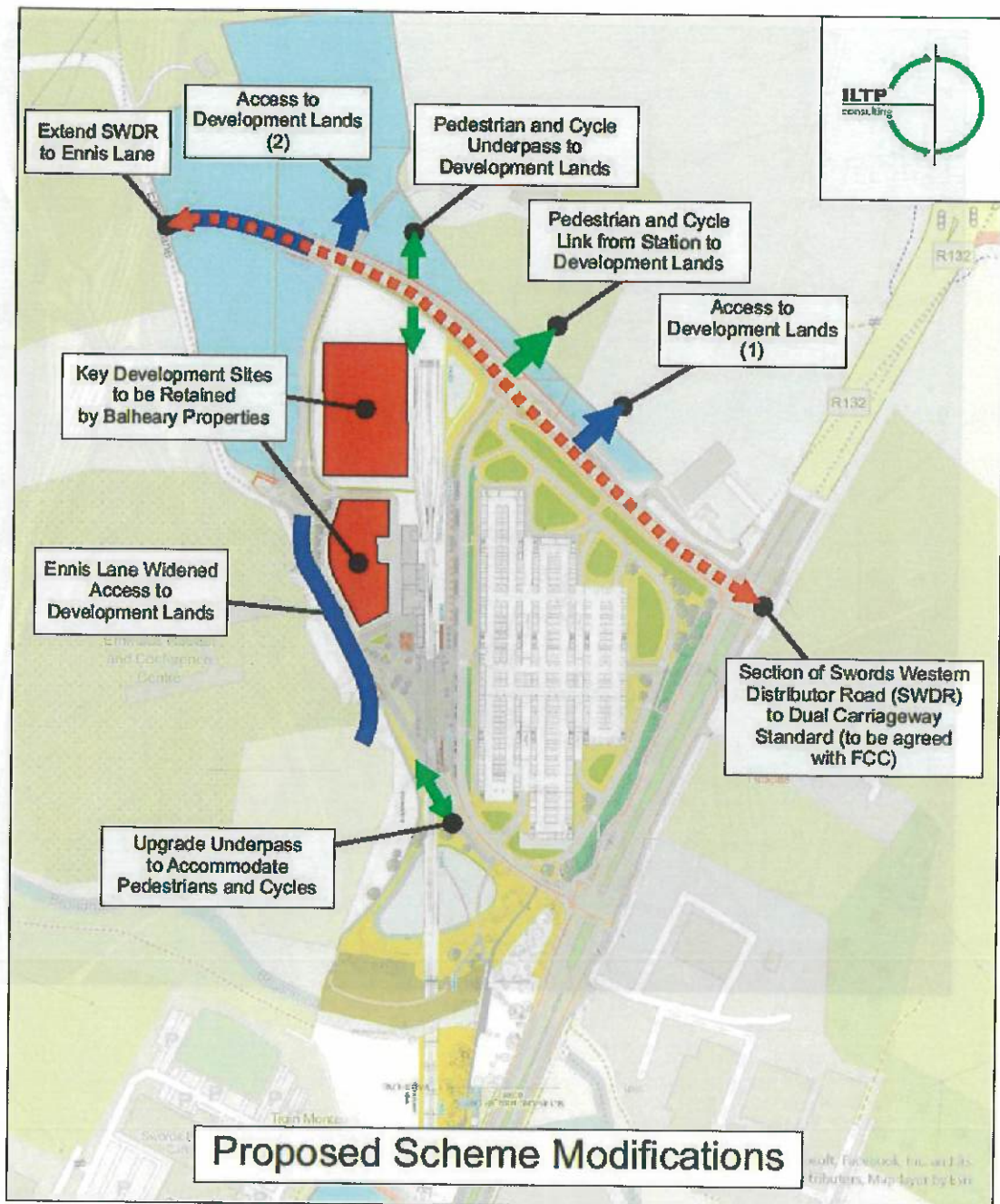




Figure B – Draft Fingal County Development Plan - Extract from Map Sheet 8 – Proposed Material Alterations.

